

PROPOSED ALTERATIONS & ADDITIONS TO AN EXISTING 2 STORY RESIDENTIAL BUILDING WITH (2) UNITS TO BECOME A 3 STORY RESIDENTIAL BUILDING WITH (2) UNITS

806 GARDEN STREET

BLOCK 183; LOT 10
CITY OF HOBOKEN, HUDSON COUNTY, NEW JERSEY 07030

802 GARDEN ST
Block: 183
Lot: 7
Bldg Desc: 2B-3U-H-BA
MIZAMANNI, YAROLLIAN

802 GARDEN ST
Block: 183
Lot: 8
Bldg Desc: 2B-3U-H-BA
CROWELL, TIMOTHY & KATRINA

804 GARDEN ST
Block: 183
Lot: 9
Bldg Desc: 2B-1U-X-H-BA
SUAREZ, ROBERT A & JEANNE ELIAS

808 GARDEN ST
Block: 183
Lot: 12
Bldg Desc: 2B-4U-H-BA
SOLAR, STEPHEN & GARLENE
2063 HILLTOP COURT
PARK CITY UT 84098

810 GARDEN ST
Block: 183
Lot: 13
Bldg Desc: 2B-4U-H-BA
SPACCAMENTO, VITO & CHIARA
40 HULLSIDE TERRACE
E RUTHERFORD, NJ 07073

812 GARDEN ST #1
Block: 183
Lot: 30
Bldg Desc: 1BR-DEN
COCKE, BRYAN

812 GARDEN ST #2
Block: 183
Lot: 30
Bldg Desc: 2BR
AMATO, MICHAEL & REBECCA

812 GARDEN ST #3
Block: 183
Lot: 30
Bldg Desc: 2BR-STUDY
PATEL, ANSHU & NIKAR R CHOPRA

812 GARDEN ST #4
Block: 183
Lot: 30
Bldg Desc: 2BR-STUDY
MAREDI TH, PATRICK & SHAN TIAY

814 GARDEN ST
Block: 183
Lot: 29
Bldg Desc: 2B-1U-H-BA
BROUQUET, ERIC & CHELLY MAINFOLD

816 GARDEN ST
Block: 183
Lot: 28
Bldg Desc: 2B-1U-H-BA
SALAMBA, C & J SCARPA % CIAPPMAN
1660 SUNDY DR #200
LOS ANGELES, CA 90028

818 GARDEN ST
Block: 183
Lot: 27
Bldg Desc:
FUCCI, MICHAEL

820 GARDEN ST
Block: 183
Lot: 26
Bldg Desc: 2BR
FAVUZZI, GIUSEPPE & ROSE

822 GARDEN ST #1
Block: 183
Lot: 25
Bldg Desc: 1BR-DEN-YTMPL
DOLAN, ARBAT
17 BIRDWOOD COURT
LIPPERT, BRADLEY RIVER, NJ 07056

822 GARDEN ST #2
Block: 183
Lot: 25
Bldg Desc: 2BR-DECK
GERMANIA, JOHN & TIFFANY SOLIARTIA

822 GARDEN ST #3
Block: 183
Lot: 25
Bldg Desc: 2BR-DECK
SEIFER, EMILY
270 CEDAR LANE
RIVER VALE NJ 07075

822 GARDEN ST #4
Block: 183
Lot: 25
Bldg Desc: 2BR-DECK
LAMBROFF, TIMOTHY

824 GARDEN ST
Block: 183
Lot: 24
Bldg Desc: 2B-4U-FX-H-BA
FALLO MARSHEN & CHRISTOPHER TRUSTEES
45 COLONIA TERR
HACKENSACK NJ 07601

826 GARDEN ST
Block: 183
Lot: 23
Bldg Desc:
BRUCKNER, BARRY A

810 GARDEN ST #1
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #2
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #3
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #4
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #5
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #6
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #7
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #8
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #9
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #10
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #11
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #12
Block: 183
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #13
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #14
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #15
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #16
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #17
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #18
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #19
Block: 183
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #20
Block: 183
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #21
Block: 183
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #22
Block: 183
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #23
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #24
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #25
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Bldg Desc:
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810 GARDEN ST #26
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #27
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #28
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #29
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #30
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #31
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #32
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #33
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #34
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #35
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MATHESON, ANDREW S & REBECCA

810 GARDEN ST #36
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MATHESON, ANDREW S & REBECCA

810 GARDEN ST #37
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810 GARDEN ST #38
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810 GARDEN ST #39
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810 GARDEN ST #40
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810 GARDEN ST #41
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MATHESON, ANDREW S & REBECCA

810 GARDEN ST #42
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810 GARDEN ST #43
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810 GARDEN ST #44
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810 GARDEN ST #45
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810 GARDEN ST #46
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810 GARDEN ST #81
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810 GARDEN ST #82
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810 GARDEN ST #83
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810 GARDEN ST #84
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810 GARDEN ST #85
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810 GARDEN ST #86
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810 GARDEN ST #90
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810 GARDEN ST #91
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810 GARDEN ST #92
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810 GARDEN ST #93
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810 GARDEN ST #94
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Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #95
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

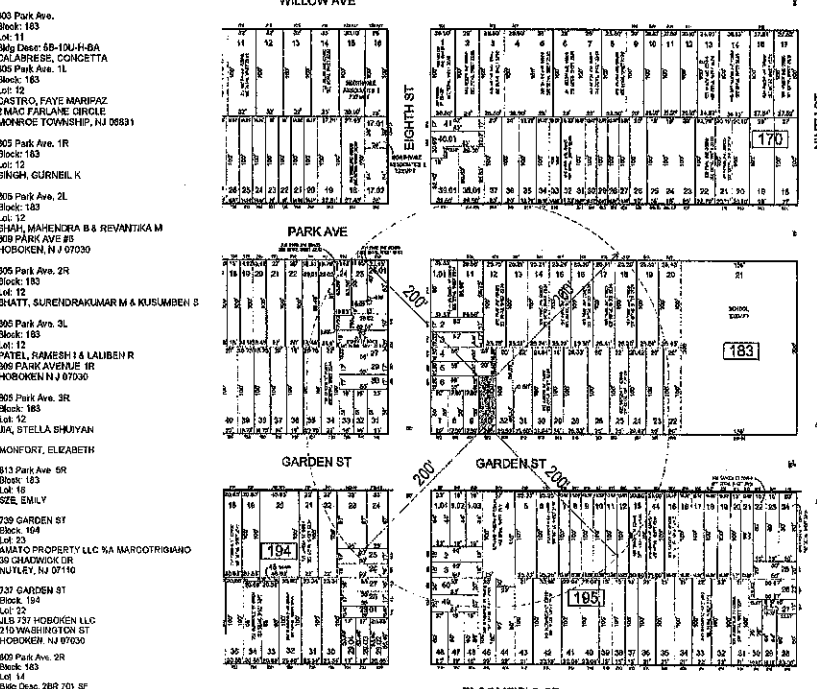
810 GARDEN ST #96
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #97
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #98
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #99
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA

810 GARDEN ST #100
Block: 183
Lot: 8
Bldg Desc:
MATHESON, ANDREW S & REBECCA



TAX MAP SHOWING 200' RADIUS

SCALE: NTS

REVISIONS TO PLANS/DRAWINGS:

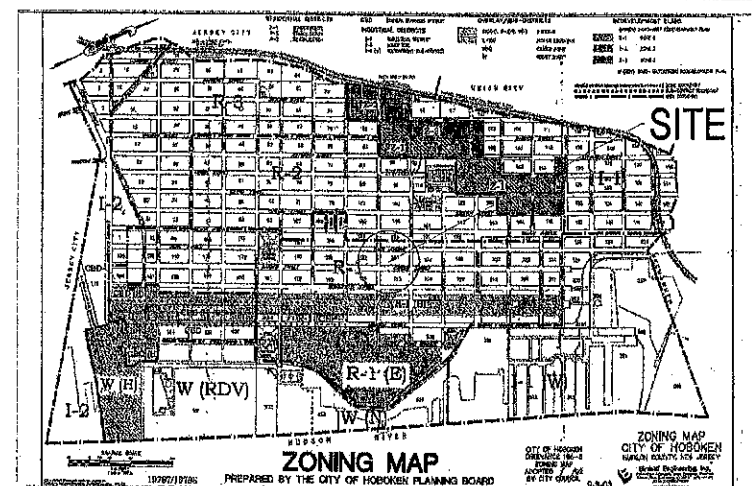
Z-1: ADDED 2-7 TYPICAL ROOF DETAILS TO DRAWING LIST. MOVED CONTENT OF Z-7 TO Z-8.

Z-3: ADDED UTILITY NOTES. DETAIL 3: INDICATED A NEW 4" DIAMETER STORM WATER CONNECTION. DETAIL 5: ADDED 1 FLOOD VENT. INCREASED THE TOTAL COUNT OF FLOOD DRAINS TO 4 FROM PREVIOUSLY SHOWN 3.

Z-4: DETAIL 1: INDICATED STORAGE FOR BIKES & STROLLERS ON BASEMENT FLOOR. REPLACED LARGE WINDOW WITH (2) SMALLER WINDOWS TO ALIGN WITH WINDOWS ON UPPER FLOORS. DETAIL 3: RECONFIGURED LAYOUT OF UNIT 2 LIVING ROOM & KITCHEN. DETAIL 4: RECONFIGURED LAYOUT OF INTERNAL STAIR OF UNIT 2. DETAIL 5: REVISED SIZE OF STAIR BULKHEAD. MOVED STAIR TO NORTH SIDE OF PLAN. MOVED AIR HANDLING UNITS AWAY FROM SOUTH SIDE OF ROOF. ADDED GREEN ROOF. PROVIDED INFORMATION OF ROOF MEMBRANE & GREEN ROOF BUILD UP.

Z-5: DETAIL 4: REDUCED SIZE OF FRONT FACADE BASEMENT WINDOW. PROVIDED 2 WINDOWS TO ALIGN WITH WINDOWS ON UPPER FLOORS. MOVED STAIR BULKHEAD TO NORTH SIDE OF ELEVATION. DETAIL 5: MOVED STAIR BULKHEAD TO NORTH SIDE OF ELEVATION.

Z-7: MOVED CONTENT TO Z-8. ADDED TYPICAL ROOF DETAILS TO THIS SHEET.



ZONING LOCATION MAP

NTS

DRAWING LIST	
Z-1	ZONING TABULATION, ZONING MAP, 200' AREA MAP, 200' RADIUS OWNERS LIST
Z-2	SURVEY, PROPOSED SITE IMPACT PLAN
Z-3	UTILITIES SITE PLAN, LANDSCAPE & LIGHTING SITE PLAN, SITE DETAILS
Z-4	DEMOLITION PLANS, PROPOSED FLOOR PLANS, ROOF DETAILS
Z-5	EXISTING & PROPOSED FRONT & REAR FACADE ELEVATIONS
Z-6	REAR FACADE ELEVATIONS, FACADE MATERIALS CALCULATIONS
Z-7	TYPICAL ROOF DETAILS
Z-8	SITE IMAGES

ZONING TABULATION CHART - ZONE R-1 LOT 10, BLOCK 183					
ZONING DISTRICT (R-1) ORDINANCE	REQUIRED	EXISTING	PROPOSED	VARIANCE REQD	
196-14.B (1)	PRINCIPAL PERMITTED USE (a) RESIDENTIAL	(a) RESIDENTIAL	(a) RESIDENTIAL	NO	
196-14.C (1)	ACCESSORY USES (a) ACCESSORY GARAGE (b) HOME OCCUPATIONS (c) SIGNS (d) OTHER USES (e) WIRELESS, TELECOMMUNICATIONS	NONE	NONE	NO	
196-14.E (1) (a)	LOT AREA	2,000 FT ²	1,340 FT ²	NO	
196-14.E (2) (a)	LOT WIDTH (MIN)	20 FT	20 FT	NO	
196-14.E (3) (a)	LOT DEPTH (MIN)	100 FT	67 FT	NO	
196-14.E (4) (a)	LOT COVERAGE (MAX)	60%	67%	YES	
196-14.E (6) (a)	BUILDING HEIGHT	40FT ABOVE DESIGN FLOOD ELEVATION (CHAPTER 104 OF MUNICIPAL CODE)	23'-1 1/2" ABOVE DESIGN FLOOD ELEVATION	NO	
196-14.E (7) (a)	YARD DIMENSIONS				
(1) FRONT	0 FT OR SHALL MATCH THE ADJOINING PROPERTIES SHALL NOT EXCEED 10 FT	MATCHING ADJOINING PROPERTIES	MATCHING ADJOINING PROPERTIES	NO	
(2) REAR	30 FT OR 30% OF LOT DEPTH WHICHEVER IS LESS	22 FT	67 FT x 30% = 20.1 FT	NO	
(3) SIDE	0 FT OR 5 FT	0 FT	0 FT	NO	

THE APPLICANT WILL ADDRESS AND/OR COMPLY WITH THE COMMENTS OF THE HOBOKEN REVIEW AGENTS

HOBOKEN PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE
PLANNER	DATE

OWNER:
2 FAMILY DWELLING
806 GARDEN STREET
HOBOKEN, NJ 07030

ARCHITECT:
JENSEN C. VASIL ARCHITECT P.C.
205 12th Street
Hoboken, NJ 07030
201 650 1055 (1)
201 221 7996 (1)

www.jvasil.com
jvasil@jvasil.com



PROJECT:
2 FAMILY DWELLING
806 GARDEN STREET
HOBOKEN, NJ 07030

DRAWING TITLE:
ZONING TABULATION, ZONING MAP, 200' AREA MAP, 200' RADIUS OWNERS LIST

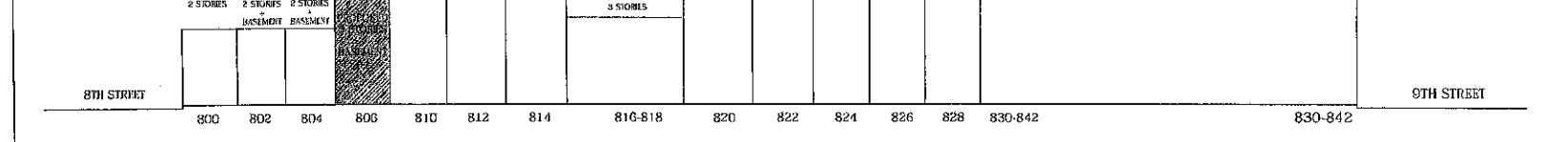
SEAL & SIGNATURE:

DATE: 06/21/16
PROJECT ID: 806GARDEN2016
DRAWN BY: JCV
CHECKED BY: JCV
DWG NO:

Z-1

200' LIST

SCALE: NTS



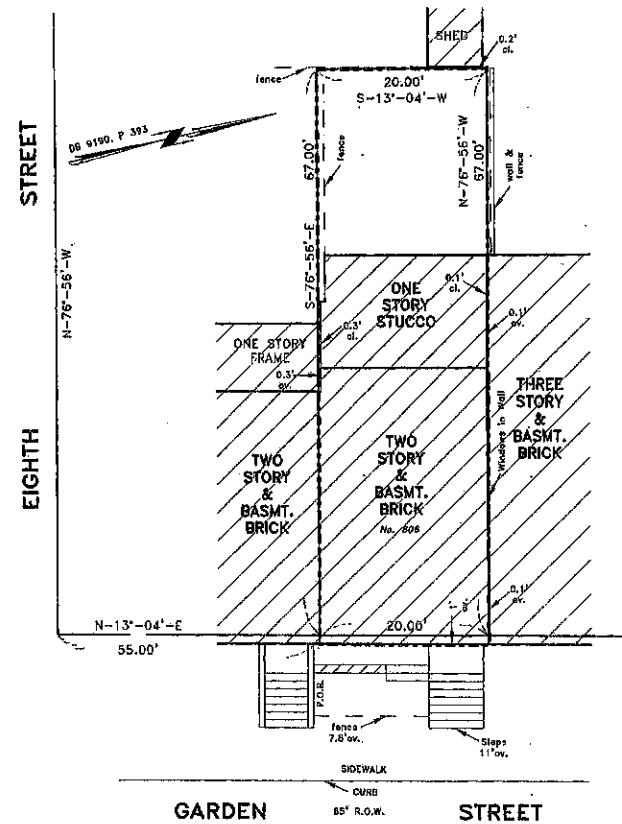
8TH STREET BLOCK DIAGRAM

SCALE: NTS

P.L. CAULFIELD, JR.
N.J. LIC. NO. 16767
JOSEPH T. CAULFIELD
N.J. LIC. NO. 37678

CAULFIELD ASSOCIATES, LLP.
PROFESSIONAL LAND SURVEYOR
132 MADISON STREET
HOBOKEN, N.J. 07030

TELEPHONE (201) 789-9445
FAX (201) 789-7714
JOB NO.



SURVEY OF PROPERTY
806 GARDEN STREET
HOBOKEN, HUDSON COUNTY, N.J.

LOCATED AT
BLOCK 183
LOT 10
DATE, AUGUST 30, 2017
SCALE 1 INCH = 10 FEET

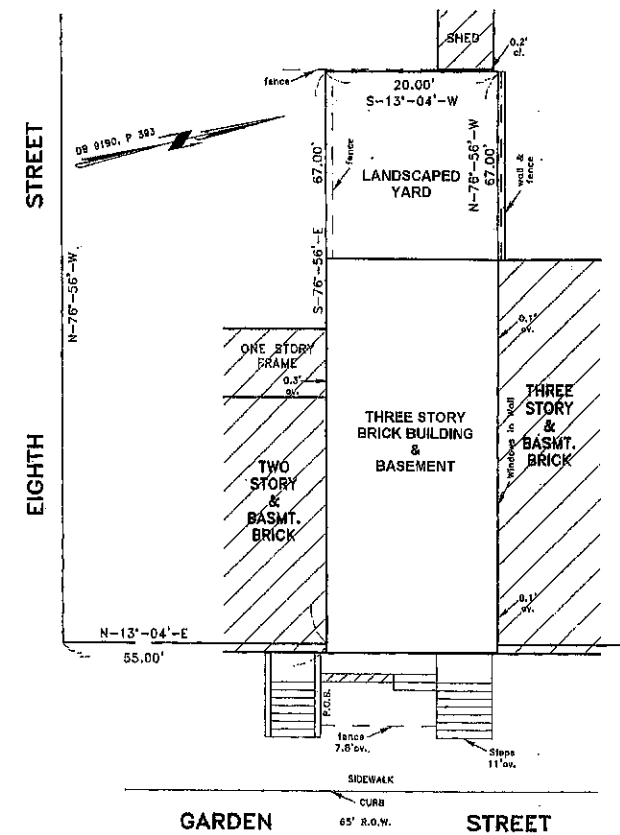
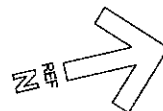
A within "Yellow and Shaded" to the Center
Masonry has been observed from the adjacent area
performed to P.L. 2003, s.14 (b) J.B.A. 468-38.30 and
N.J.A.C. 17:28.6-10

THIS DRAWING IS NOT TO BE USED AS A BASIS FOR ANY CONSTRUCTION.
IT IS SUBJECT TO THE FACTS REVEALED BY AN ACCURATE AND COMPLETE
FIELD SURVEY. THE CERTIFICATION IS MADE ONLY TO THE FACTS REVEALED
HEREON, AND IS NOT TO BE CONSIDERED A GUARANTEE OF THE ACCURACY
OF THE INFORMATION HEREON.

P.L. Caulfield, Jr.
P.L. CAULFIELD, JR.
PROF. LAND SURVEYOR
N.J. LIC. NO. 16767

EXISTING GROSS FLOOR AREA : 2,199 SF

2 EXISTING SITE PLAN
SCALE: 1"=10'-0"



PROPOSED GROSS FLOOR AREA 3,504 SF

1 PROPOSED SITE PLAN
SCALE: 1"=10'-0"



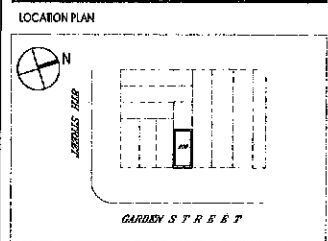
OWNER:
2 FAMILY DWELLING
806 GARDEN STREET
HOBOKEN, NJ 07030

ARCHITECT:
JENSEN C. VASIL ARCHITECT P.C.

286 12th Street
Hoboken, NJ 07030
201 960 1865 (P)
201 221 7588 (F)

www.jvasil.com
jvasil@jvasil.com

2	04/07/18	REVISIONS AS PER BOARD COMMENTS
1	04/20/18	JOINING BOARD OF ADJUSTMENT FLOOD PLAN REVISIONS
	02/02/18	JOINING BOARD OF ADJUSTMENT
Rev:	Date:	Revised:



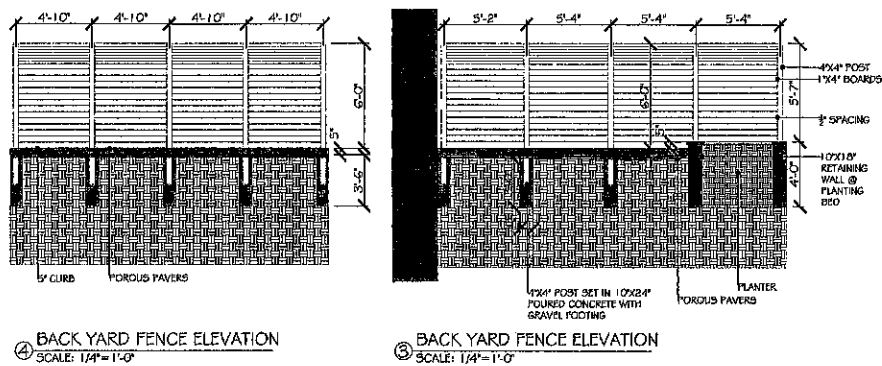
PROJECT:
2 FAMILY DWELLING
806 GARDEN STREET
HOBOKEN, NJ 07030

DRAWING TITLE:
SURVEY, PROPOSED SITE IMPACT PLAN

SEAL & SIGNATURE:

DATE:	04/07/18
PROJECT ID:	806GARDEN2018
DRAWN BY:	JCV
CHECKED BY:	JCV
DWG NO.:	

Z-2



PROJECTED SANITARY SEWAGE FLOW

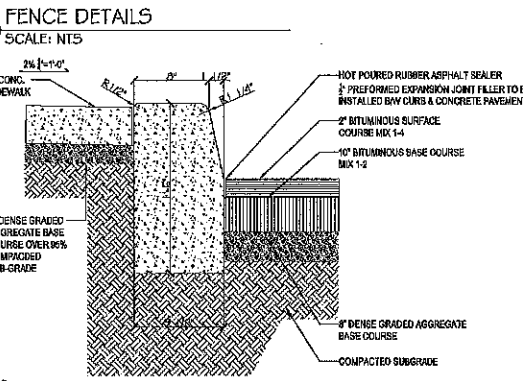
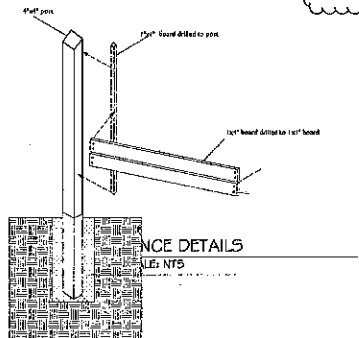
RESIDENTIAL
1, FOUR BED UNIT = 300 GPD/DWELLING = 300 GPD
TOTAL RESIDENTIAL = 300 GPD

TOTAL BUILDING FLOW = 400 GPD

*GPD FIGURES AS PER NJPDES N.J.A.C. 7:14A 23.3(c)
**A FORMAL CPI APPLICATION SHALL BE FILED FOR APPROVAL FOR INCREASED FLOW (IF NEEDED)

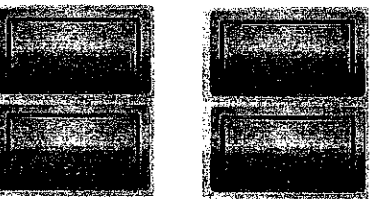
UTILITY NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONNECTION.
2. NORTH HUDSON SEWAGE AUTHORITY SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO CONNECTION TO THE SEWER MAIN.
3. EXISTING UTILITIES (INCLUDING BUT NOT LIMITED TO, SANITARY SEWER, STORM SEWER AND WATER FOR BOTH DOMESTIC AND FIREFIGHTING FLOWS) CAN ACCOMMODATE PROPOSED BUILDING USE.
4. APPLICANT HAS BEEN MADE AWARE THAT THE PROXIMITY OF UTILITY LINES, LESS THAN 10 FEET APART HORIZONTALLY AND 18" VERTICALLY, MAY INTERFERE WITH CONSTRUCTION AND MAINTENANCE. SANITARY SEWER LINES SHOULD BE BELOW STORM LINES, BUT IF NOT POSSIBLE, ENCASEMENT MAY BE REQUIRED.



NOTES:
CURBS, SIDEWALK & ASPHALT REPAIR AS PER CITY OF HOBOKEN STANDARDS

1. CURBS AND SIDEWALK CONCRETE TO BE 4000 PSI N.J.D.O.T. CLASS "B" AIR-ENTRAINED
2. PROVIDE PREFORMED BITUMINOUS PER AASHTO-M-33 EXPANSION JOINTS 1/2" THICK AT 10' O.C. MAX. INTERVALS. PROVIDE DUMMY JOINTS (FORMED) MIDWAY B/W EXPANSION JOINTS
3. PROVIDE PRE-FORMED BITUMINOUS PER AASHTO-M-33 EXPANSION JOINTS 1/2" THICK B/W NEW SIDEWALK AND CURB
4. REINFORCED 8" THICK CONCRETE SIDEWALK TO BE USED AROUND CURB RETURNS FOR HANDICAP RAMPS AND DRIVEWAY APRONS.



SMARTVENT FLOOD VENT
1 VENT REQUIRED FOR EVERY 200 SQ FT AREA

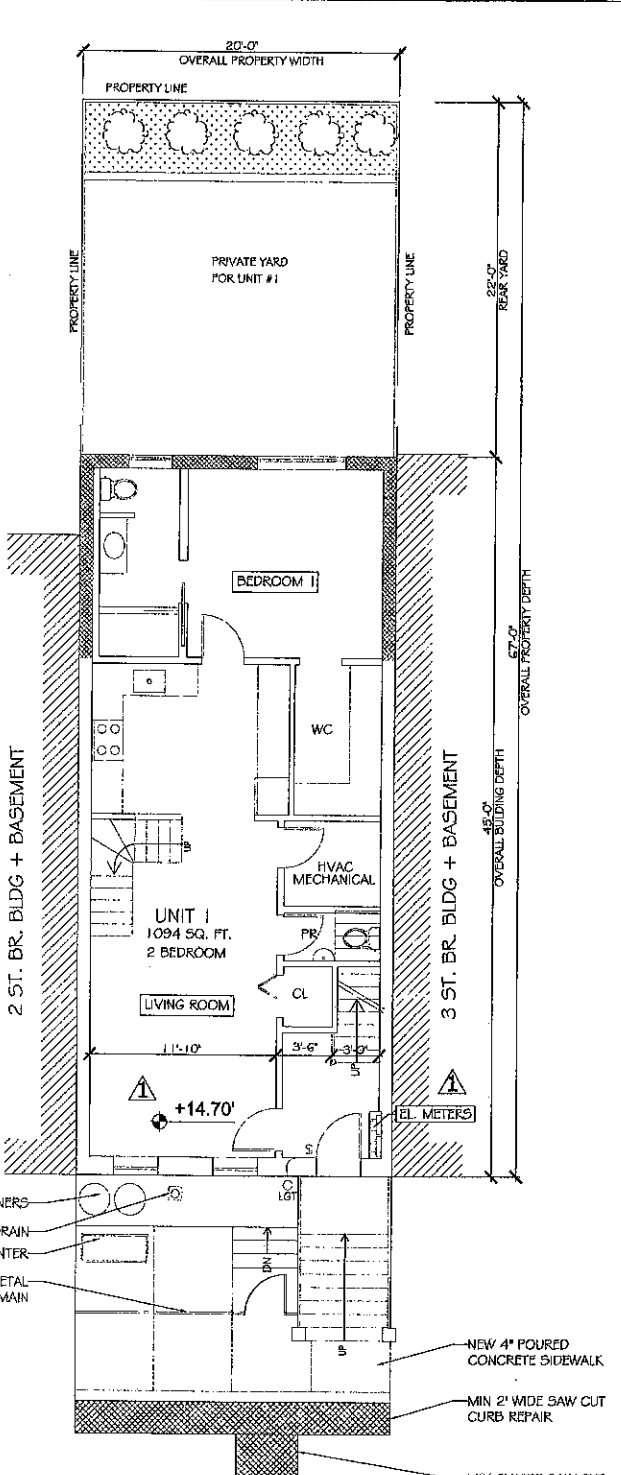
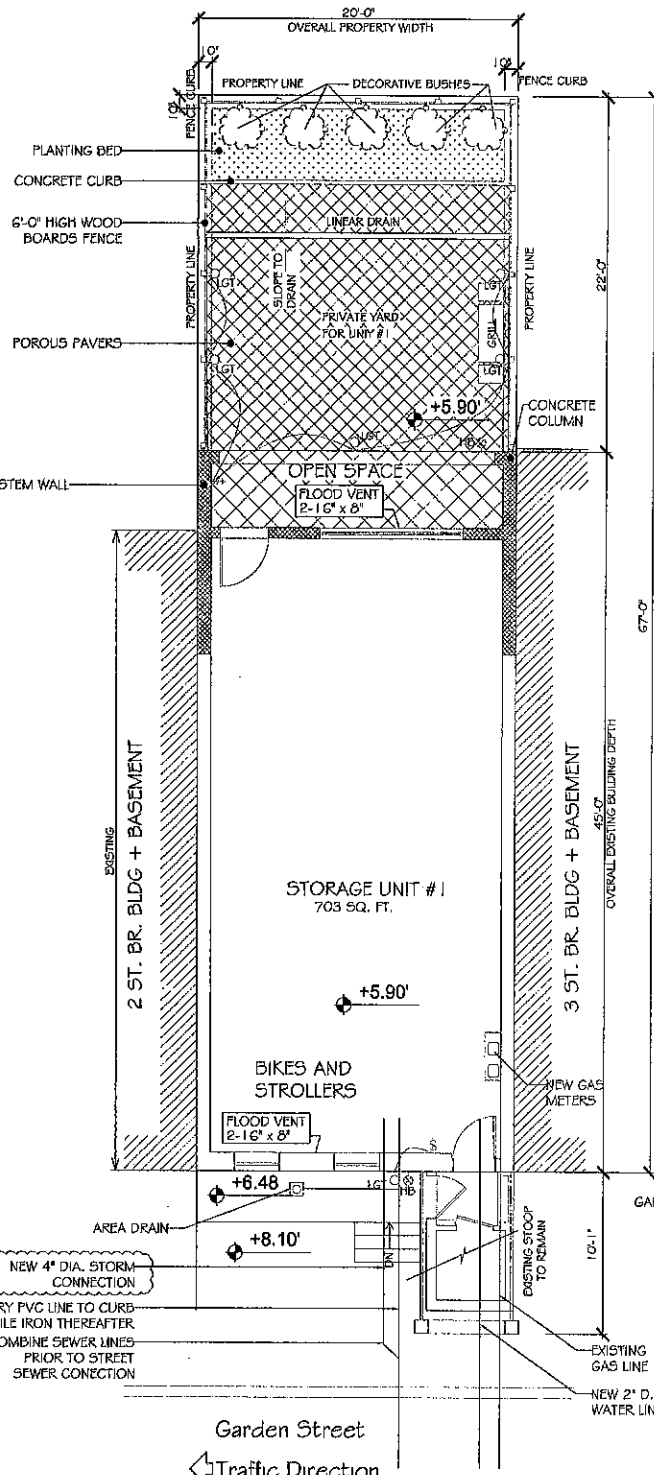
GROUND FLOOR PLAN 803 SQ FT: 200 = 4 VENTS

NUMBER OF VENTS REQUIRED 4
NUMBER OF VENTS PROVIDED 4

SMART VENT 1640 \$20

The vent door is latched closed until it comes in contact with flood water. Entering flood water lifts the patented internal floats which unlatch and allow the door to rotate open. This allows the flood water to automatically enter and exit through the frame opening, relieving the pressure from the foundation walls. Certified flood debris clearance is demonstrated with a 3" diameter opening when the flood door is activated.

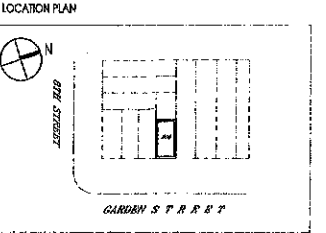
FLOOD VENT CALCULATIONS
SCALE: NTS



OWNER:
2 FAMILY DWELLING
806 GARDEN STREET
HOBOKEN, NJ 07030

ARCHITECT:
JENSEN C. VASIL ARCHITECT P.C.
286 12th Street
Hoboken, NJ 07030
201 550 1056 (F)
201 521 7666 (F)
www.jvasil.com
jvasil@jvasil.com

No.	Date	Revision
2	04.07.18	REVISIONS AS PER BOARD COMMENTS
1	04.20.18	JOINING BOARD OF ADJUSTMENT "FLOOD PLAN REVISIONS"
	02/22/19	JOINING BOARD OF ADJUSTMENT



PROJECT:
2 FAMILY DWELLING
806 GARDEN STREET
HOBOKEN, NJ 07030

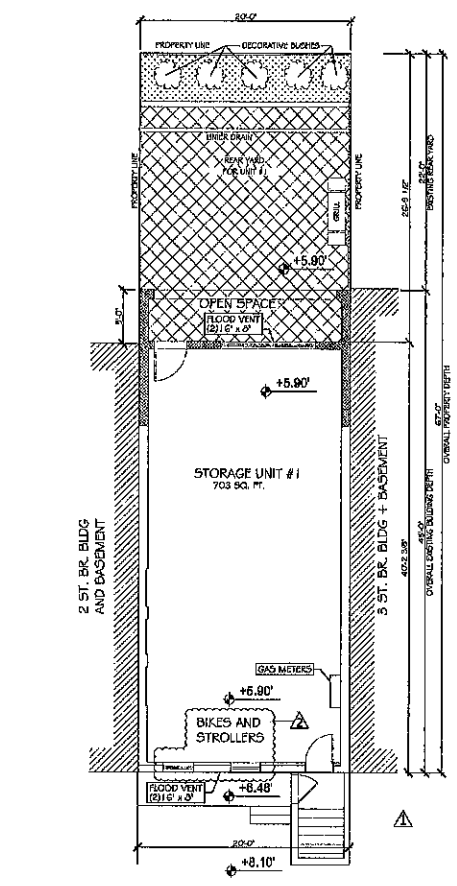
DRAWING TITLE:
UTILITIES SITE PLAN, LANDSCAPE & LIGHTING SITE PLAN, SITE DETAILS

SEAL & SIGNATURE:

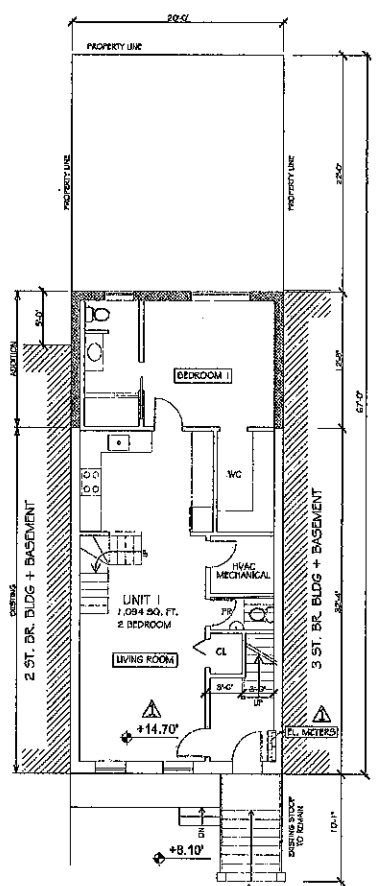
DATE: 04/07/18
PROJECT ID: 20180402018
DRAWN BY: JCV
CHECKED BY: JCV
DWG No:

OWNER:
2 FAMILY DWELLING
 806 GARDEN STREET
 HOBOKEN, NJ 07030

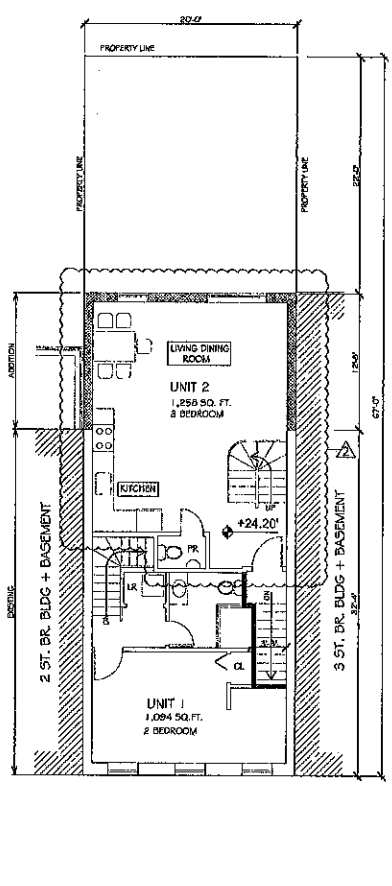
ARCHITECT:
JENSEN C. VASIL ARCHITECT P.C.
 285 12th Street
 Hoboken, NJ 07030
 201 980 1666 (P)
 201 221 7648 (F)
 www.jvasil.com
 jvasil@jvasil.com



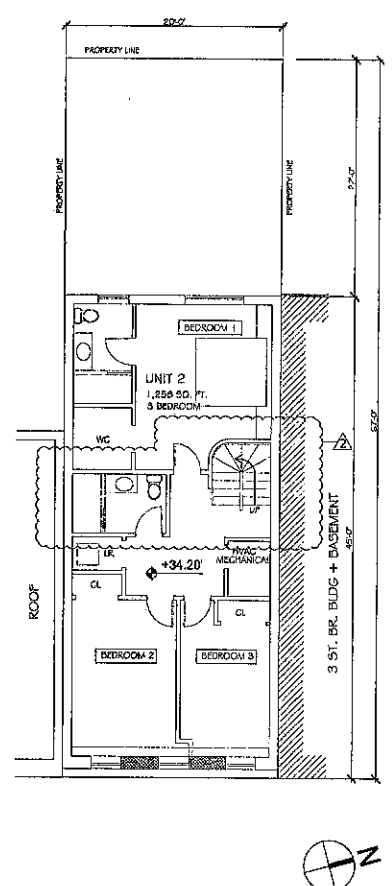
1 PROPOSED GROUND FLOOR PLAN
 SCALE: 1/8"=1'-0"



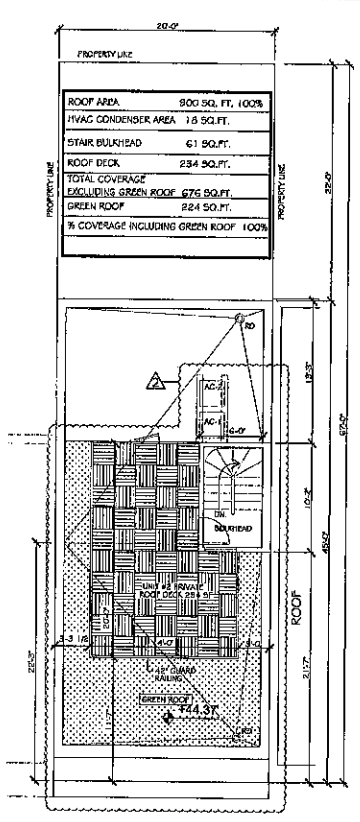
2 PROPOSED 1ST FLOOR PLAN
 SCALE: 1/8"=1'-0"



3 PROPOSED 2ND FLOOR PLAN
 SCALE: 1/8"=1'-0"



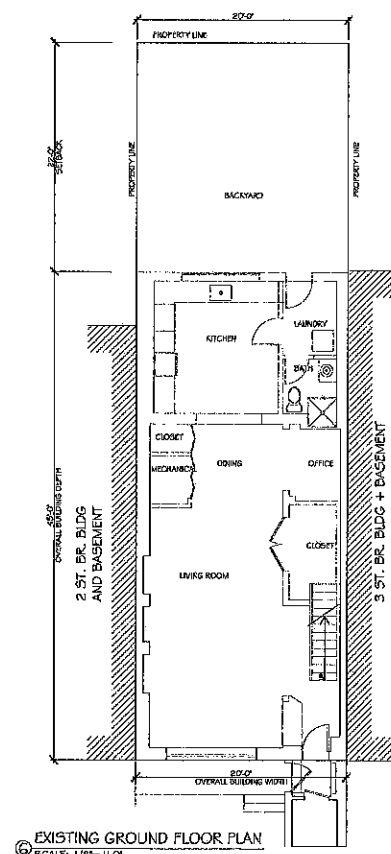
4 PROPOSED 3RD FLOOR PLAN
 SCALE: 1/8"=1'-0"



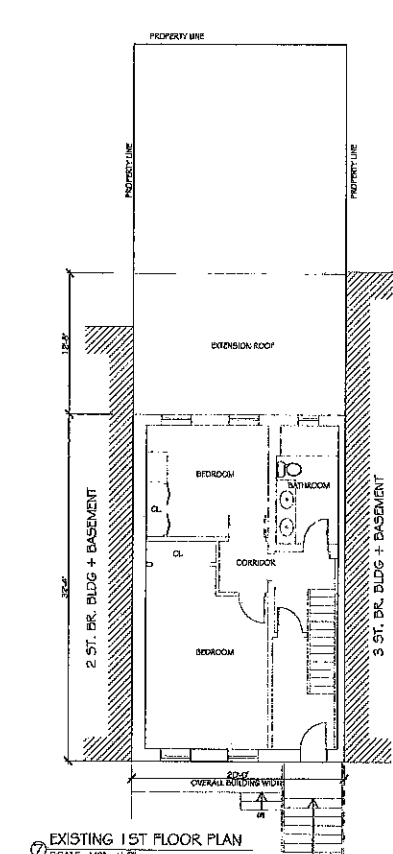
5 PROPOSED ROOF PLAN
 SCALE: 1/8"=1'-0"

ROOF FINISH:
 VERSICO GEO ECONOMIT REINFORCED EPDM
 MEMBRANE. INITIAL SOLAR REFLECTANCE IS
 0.80 WHEN TESTED IN ACCORDANCE WITH
 THE COOL ROOF
 RATING COUNCIL (CRRG) PROGRAM

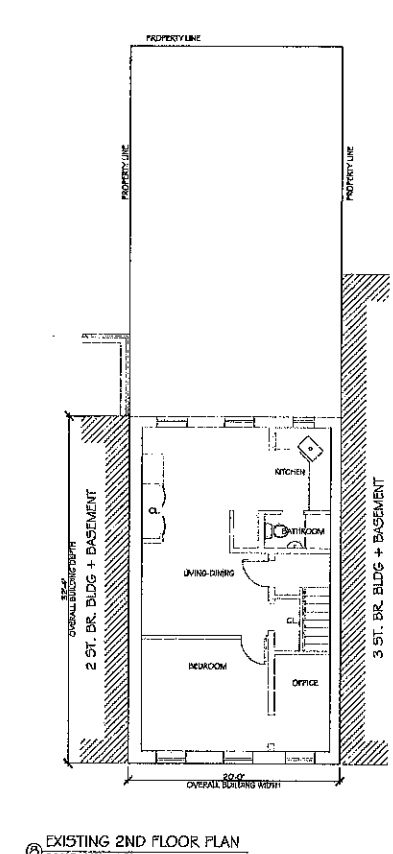
224 SQ. FT. GREEN ROOF PLANTING TRAYS
 GREEN ROOF TRAYS TO BE PLANTED WITH
 BRYOPHYTES (MOSS) THAT LIKE DIRECT
 SUN. EXPOSURE (POLYTRICHUM, CLADONIA,
 ENTODON, HEDWIGIA, ATRICHUM,
 LEUCOURYUM, CERATODON AND DITRICHUM)



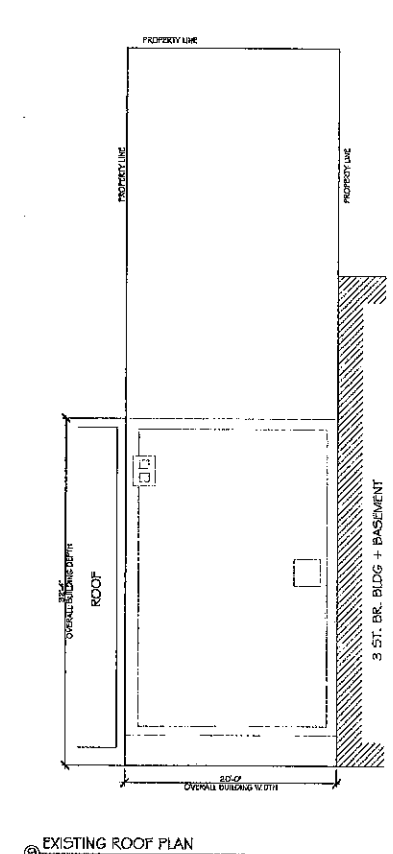
6 EXISTING GROUND FLOOR PLAN
 SCALE: 1/8"=1'-0"



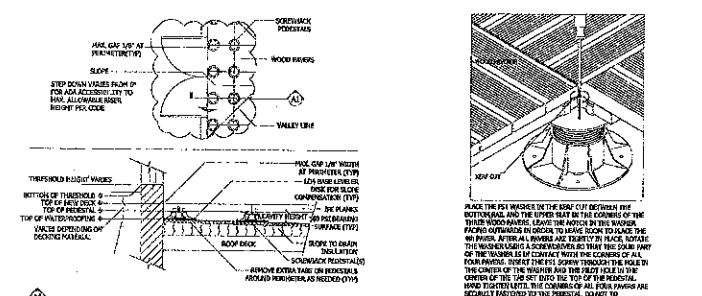
7 EXISTING 1ST FLOOR PLAN
 SCALE: 1/8"=1'-0"



8 EXISTING 2ND FLOOR PLAN
 SCALE: 1/8"=1'-0"



9 EXISTING ROOF PLAN
 SCALE: 1/8"=1'-0"



GENERAL NOTES APPLY TO ALL OF THE ABOVE PRODUCTS
 1. CONTRACTOR MUST BE CONSULTED IN ACCORDANCE WITH MANUFACTURER'S PRODUCTS
 SPECIFICATIONS.
 2. DRAWINGS NOT TO SCALE.
 3. CONTRACTOR REFER FOR PRODUCT AND COMPANY INFORMATION VISIT www.bco.com

A-B-SERIES SCREW JACK PEDESTALS
 (CONCRETE ONLY)

B-SERIES SCREW JACK PEDESTALS
 (WOOD DECK ONLY)

LEGEND

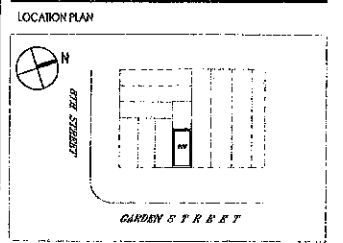
	NEW WALL
	EXISTING WALL TO REMAIN
	WALL TO BE REMOVED
	DOOR TO BE REMOVED
	PROPERTY LINE
	ROOF DECK
	GREEN ROOF
	ROOF DRAIN
	AREA DRAIN
	EXTERIOR LIGHT
	WALL MOUNTED SINGLE ONE WAY SWITCH

GENERAL NOTES APPLY TO ALL OF THE ABOVE PRODUCTS
 1. CONTRACTOR MUST BE CONSULTED IN ACCORDANCE WITH MANUFACTURER'S PRODUCTS
 SPECIFICATIONS.
 2. DRAWINGS NOT TO SCALE.
 3. CONTRACTOR REFER FOR PRODUCT AND COMPANY INFORMATION VISIT www.bco.com

A-B-SERIES SCREW JACK PEDESTALS
 (CONCRETE ONLY)

B-SERIES SCREW JACK PEDESTALS
 (WOOD DECK ONLY)

No.	Date	Revision
2	06.07.18	REVISIONS AS PER BOARDS COMMENTS
1	04.20.18	JOINING BOARD OF ADJUSTMENT FLOOD PLAN REVISIONS
	02/27/18	JOINING BOARD OF ADJUSTMENT



PROJECT:
2 FAMILY DWELLING
 806 GARDEN STREET
 HOBOKEN, NJ 07030

DRAWING TITLE:
DEMOLITION PLANS, PROPOSED FLOOR PLANS, ROOF DETAILS

SEAL & SIGNATURE:

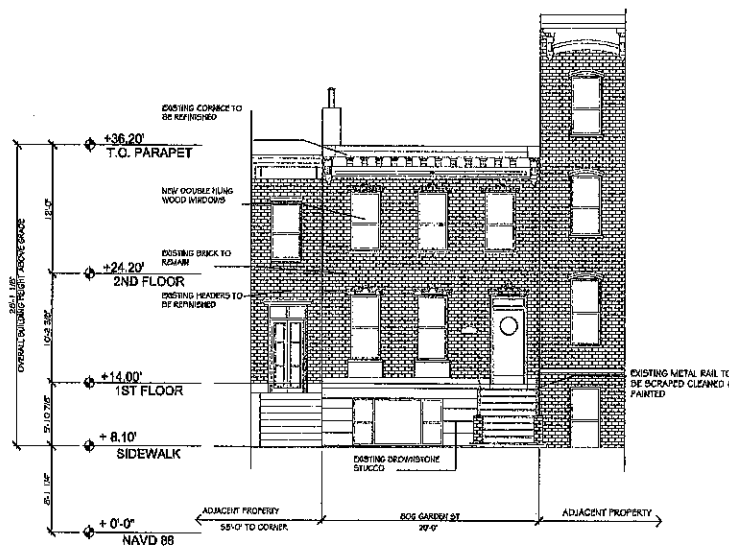
DATE: 06.07.18
 PROJECT: 806GARDEN018
 DRAWN BY: JCV
 CHECKED BY: JCV
 DWG NO:
Z-4

OWNER:
2 FAMILY DWELLING
 804 GARDEN STREET
 HOBOKEN, NJ 07030

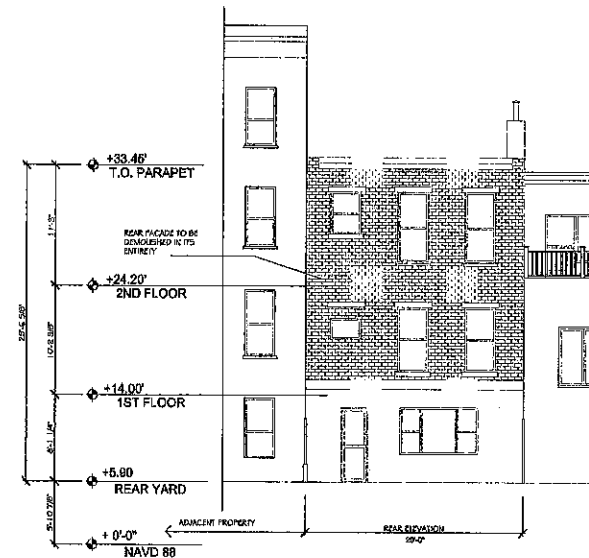
ARCHITECT:
JENSEN C. VASIL ARCHITECT P.C.

265 12th Street
 Hoboken, NJ 07030
 201 850 1066 (t)
 201 221 7660 (f)

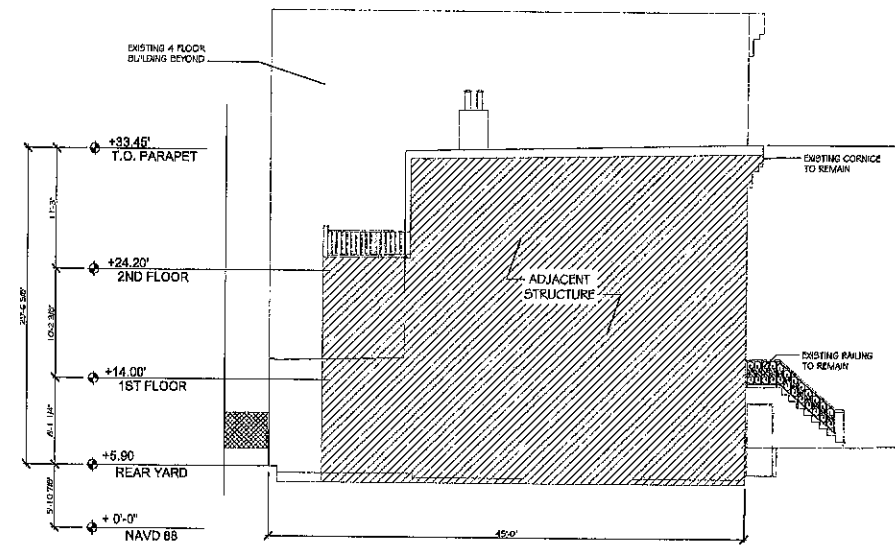
www.jovarah.com
 jensen@jovarah.com



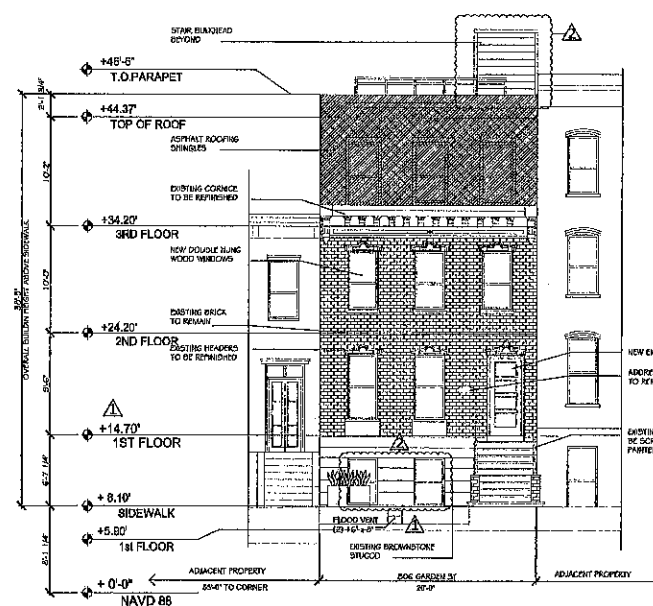
1 806 GARDEN STREET EXISTING FRONT FACADE
 SCALE: 1/8" = 1'-0"



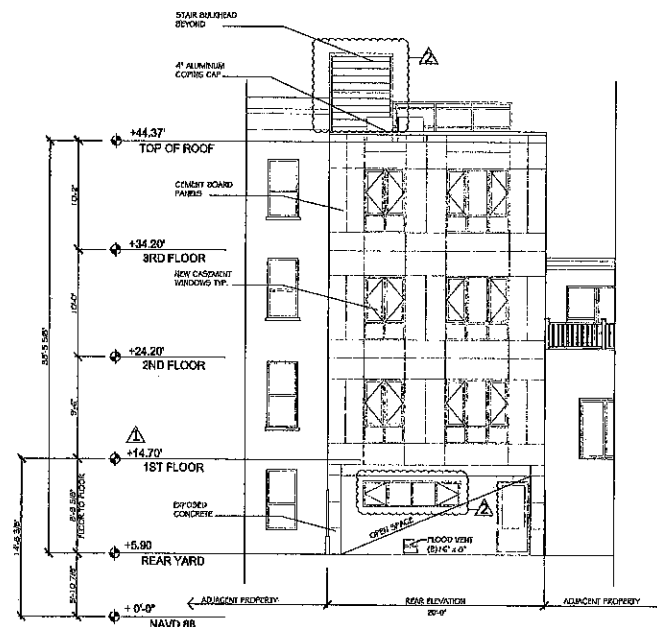
2 806 GARDEN STREET EXISTING REAR FACADE
 SCALE: 1/8" = 1'-0"



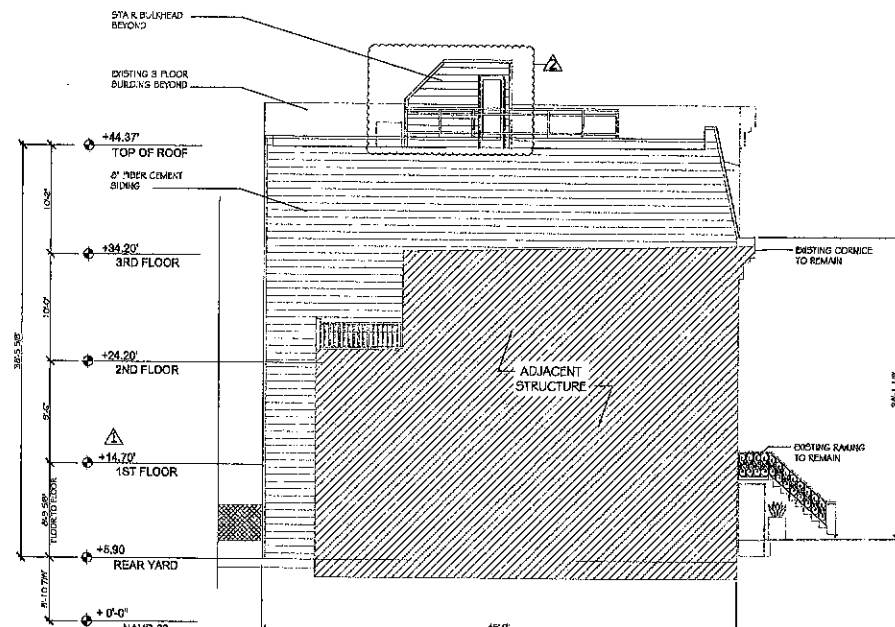
3 806 GARDEN STREET EXISTING SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



4 806 GARDEN STREET PROPOSED FRONT FACADE
 SCALE: 1/8" = 1'-0"

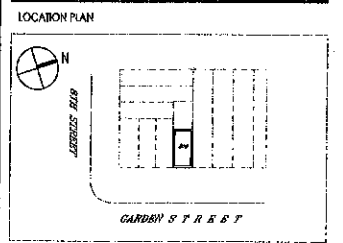


5 806 GARDEN STREET PROPOSED REAR FACADE
 SCALE: 1/8" = 1'-0"



6 806 GARDEN STREET PROPOSED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

No.	Date	Revision
2	04/07/18	REVISIONS AS PER BOARD COMMENTS
1	04/20/18	ZONING BOARD OF ADJUSTMENT 'FLOOD PLAN REVISIONS'
	02/22/18	ZONING BOARD OF ADJUSTMENT



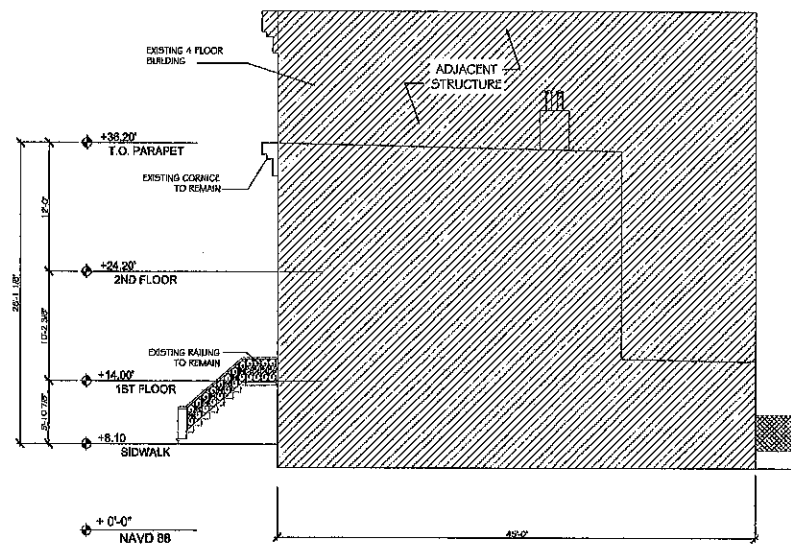
PROJECT:
2 FAMILY DWELLING
806 GARDEN STREET
HOBOKEN, NJ 07030

DRAWING TITLE:
EXISTING & PROPOSED FRONT & REAR FACADE ELEVATIONS

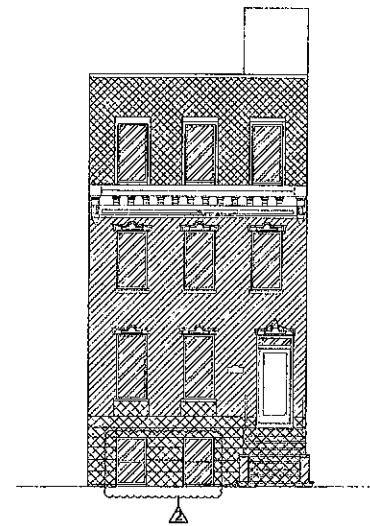
DATE: 04/07/18
 PROJECT ID: 806GARDEN2018
 DRAWN BY: JCV
 CHECKED BY: JCV
 DWG No:

OWNER:
2 FAMILY DWELLING
 806 GARDEN STREET
 HOBOKEN, NJ 07030

ARCHITECT:
JENSEN C. VASIL ARCHITECT P.C.
 206 12th Street
 Hoboken, NJ 07030
 201 580 1955 (f)
 201 221 7566 (t)
 www.jvasil.com
 jvasil@jvasil.com



806 GARDEN STREET EXISTING NORTH ELEVATION
 SCALE: 1/8"=1'-0"



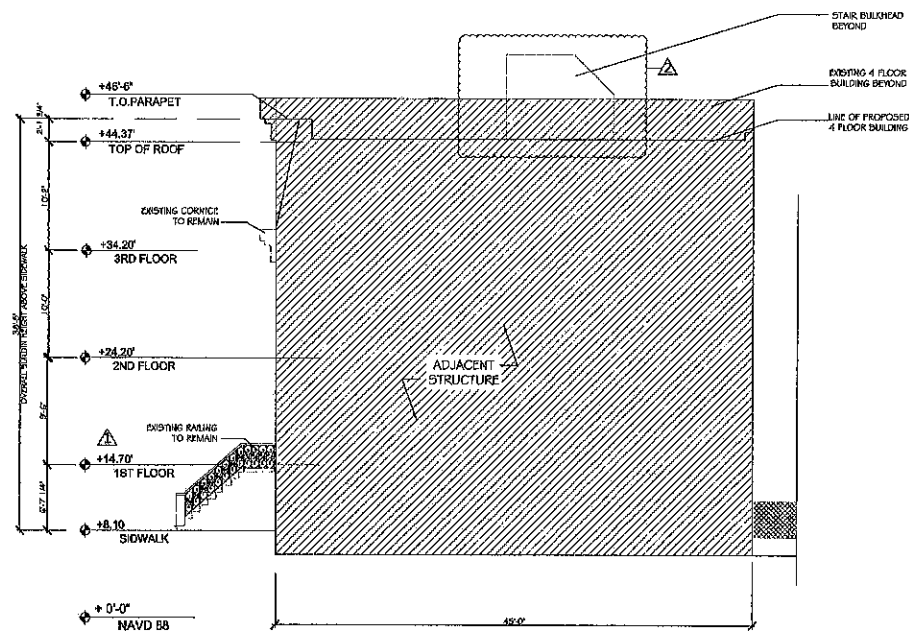
806 GARDEN FACADE CALCULATION

1. RESIDENTIAL FACADE AREA	788 SQ. FT.
2. RESIDENTIAL PENETRATION	164 SQ. FT.
3. #2 / #1	20.2% WHICH IS < 25%
4. TOTAL FACADE AREA	788 SQ. FT.
5. TOTAL FACADE AREA MINUS TOTAL PENETRATION + DOORS	788 - (164+27) = 597 SQ. FT.
6. AREA WITH MASONRY	260 SQ. FT.
7. AREA WITH NON MASONRY	528 SQ. FT.

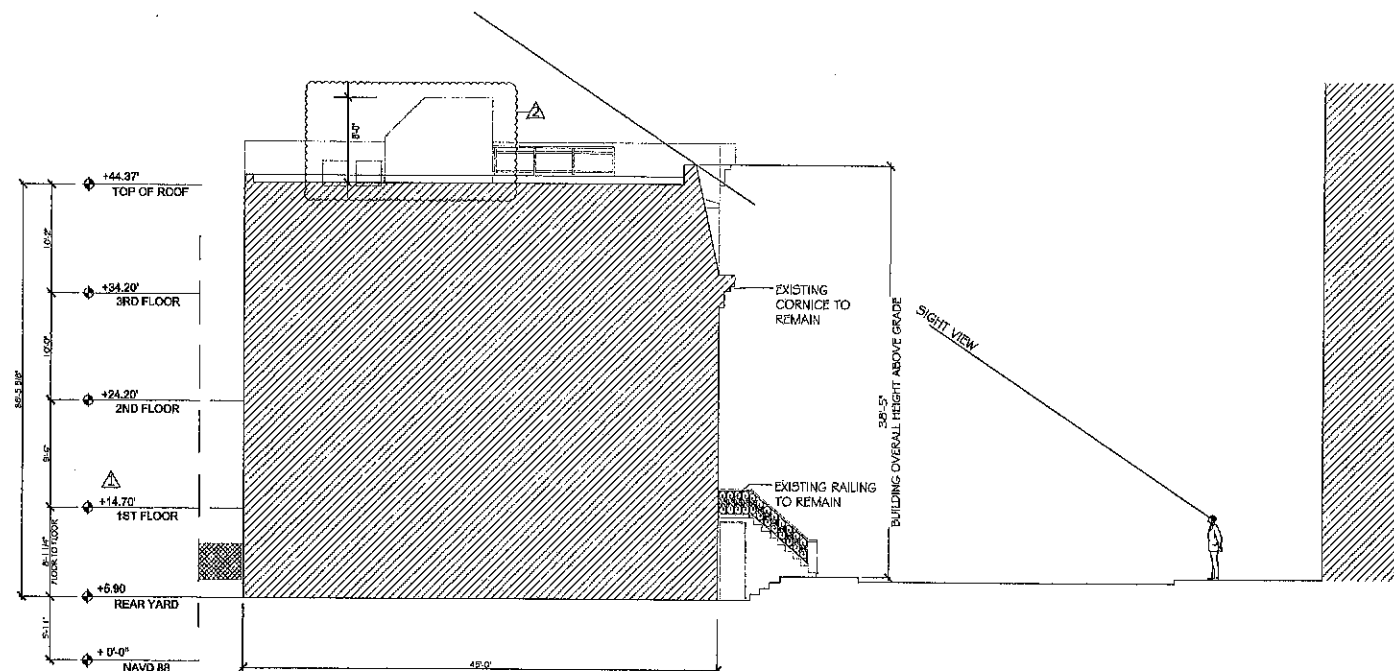
FACADE MATERIALS LEGEND

[Diagonal Hatching]	MASONRY
[Cross-hatching]	NON-MASONRY
[Solid Black]	GLAZING

806 GARDEN STREET MATERIALS CALCULATIONS
 SCALE: 1/8"=1'-0"

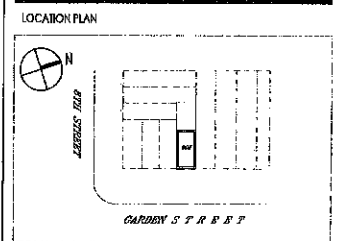


806 GARDEN STREET PROPOSED NORTH ELEVATION
 SCALE: 1/8"=1'-0"



GARDEN STREET SIGHT-LINE DIAGRAM
 SCALE: 1/8"=1'-0"

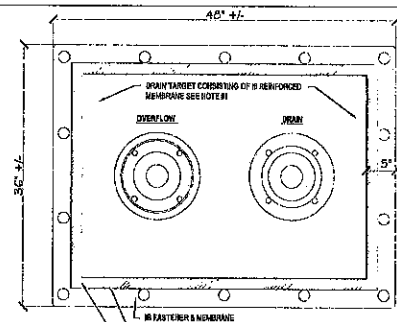
No.	Date	Revision
2	04.07.18	REVISIONS AS PER BOARD COMMENTS
1	04.20.18	ZONING BOARD OF ADJUSTMENT FLOOD PLAN REVISIONS
	02/07/18	ZONING BOARD OF ADJUSTMENT



PROJECT:
2 FAMILY DWELLING
 806 GARDEN STREET
 HOBOKEN, NJ 07030

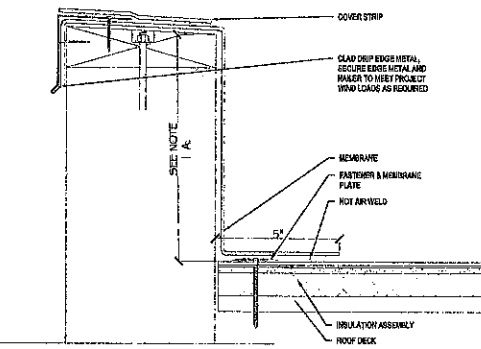
DRAWING TITLE:
**REAR FACADE ELEVATIONS,
 FACADE MATERIALS
 CALCULATIONS**

DATE: 04.07.18
 PROJECT ID: 806GARDEN.DWG
 DRAWN BY: JCV
 CHECKED BY: JCV
 DWG No:



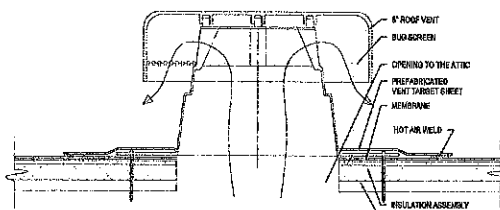
- NOTES:
1. SCAP AREAS AT DRAIN SHOULD BE FORMED INTO THE DECK OR INSTALLED WITH TAPERED RELIEF.
 2. APPROVED TYPES OF INSULATION: GYPSUM BOARD, POLYISOCYANURATE (PIR), POLYURETHANE (PU), POLYETHYLENE FOAM (PEF), POLYISOCYANURATE (PIR), POLYURETHANE (PU), POLYETHYLENE FOAM (PEF).
 3. MEMBRANE DRAIN LINES ARE NOT ELIGIBLE FOR TOTAL ROOF SYSTEM WARRANTIES AND REQUIRE PRE-APPROVAL FOR USE ON WARRANTY PROJECTS.
 4. SEE ROOF W.P. CONTRACT AND PRE-APPROVED SEPARATION LAYERS FOR FULLY DETAILED INFORMATION FROM AN EXISTING INCOMPATIBLE MATERIALS.
 5. TARGET SHEET CAN BE INSTALLED BEFORE OR AFTER FIELD MEMBRANE.

FLASHING DETAIL @ ROOF DRAIN



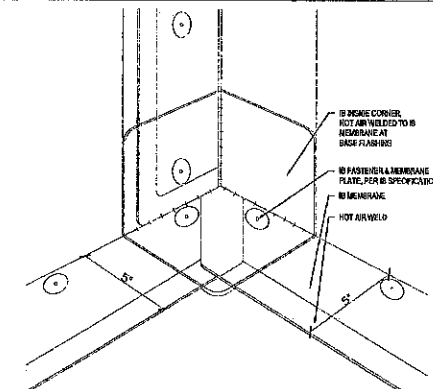
- NOTES:
1. 6" MIN. CONCRETE WALL FLASHING MAXIMUM HEIGHT.
 2. 1" FOR MECHANICALLY ATTACHED FLASHING OR FOR FULLY ADHERED FLASHING.
 3. FOR WALLS EXCEEDING MAXIMUM HEIGHT, REFER TO MECHANICALLY ATTACHED FLASHING WALL DETAILS.
 4. APPROVED WALLS: INSTALL MEMBRANE IN 18" VERTICAL ADHESIVE JOINTS. DATE OF 18" FOR 18" IS NOT INSTALLED COVERAGE (50% TO 55% ALLOW TO DRY WITH MINIMUM 50% TO BACK OF SHEET, INITIAL WHILE WET).
 5. SOME FLASHING AND METAL WORK IN ACCORDANCE WITH THE SPECIFICATIONS AND FLASHING REQUIREMENT TABLE APPROVED BY THE ARCHITECT.
 6. APPROVED BARRIER SEPARATION: FULLY ADHERED AND MECHANICALLY ATTACHED.
 7. 1/2" POLYURETHANE, 1/2" POLYURETHANE OR APPROVED OFFER COVER BOARD, POLYURETHANE CONCRETE, OR OTHER BLOCK/MASSIVE WALLS.
 8. MECHANICALLY ATTACHED FLASHING: APPROVED COVERING WALL AND BASE FLASHING.
 9. FULL SEPARATION REQUIRED WITH MINIMUM 1/2" PLYWOOD OR APPROVED OFFER COVER BOARD, 2" MIN. OR APPROVED IN SEPARATION SHEET.
 10. FULLY ADHERED FLASHING OVER APPROVED EXISTING WALL AND BASE FLASHING.
 11. FULL SEPARATION REQUIRED WITH MINIMUM 1/2" PLYWOOD, OR APPROVED OFFER COVER BOARD, OR 2" MIN. OR APPROVED IN SEPARATION SHEET.

FLASHING DETAIL @ PARAPET



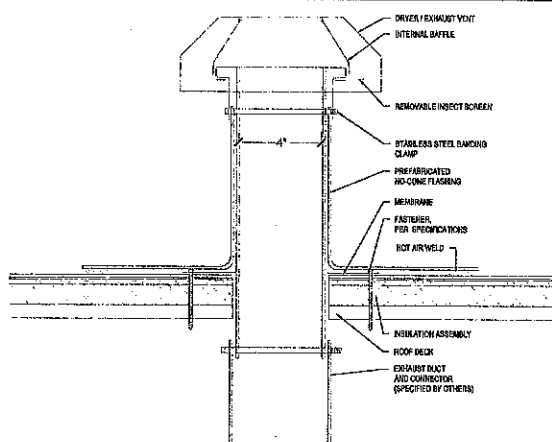
- NOTES:
1. APPROVED FASTENERS AND PLATE INSTALLER'S O.C.
 2. ROOF VENT MUST BE INSTALLED AS GENERAL DRAIN FOR ENCLOSED ATTIC OR UNFINISHED AREA WHERE APPROPRIATE. WINGS USED FOR ATTIC SPACE VENTILATION FOLLOW THE DIMENSIONS FOR BALANCED VENTILATION SYSTEM.
 3. NOT APPROVED FOR USE AS AIR EXHAUST.
 4. APPROVED SEALANT CAN BE USED TO SEAL THE FLANGE TO THE MEMBRANE.
 5. NET FREE AREA = 50 SQ. IN. PER VENT.
 6. SQUARE FOOTAGE OF VENT MUST BE 1/2" TO 3/4" SQUARE PER 100 SQUARE FEET OF UNFINISHED ATTIC SPACE (1000 RATIO PER 100 SQUARE FEET).

FLASHING DETAIL @ LARGE EXHAUST



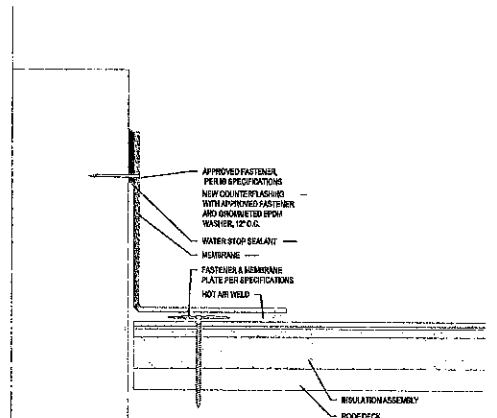
FLASHING DETAIL @ LARGE EXHAUST

1 TYPICAL ROOFING DETAILS N.T.S.



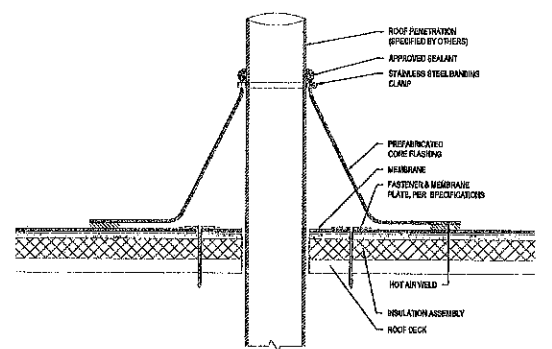
- NOTES:
1. MINIMUM OF 4 FASTENERS PER PIPE FLANGE.
 2. TO BE INSTALLED AND CHECKED. VENT APPLICATION: INSTALL DOWN IN SET SCREENS PRIOR TO INSTALLING VENT.
 3. SEALANTS AND CAULKING REQUIRE PER ARCHITECT'S DRAWINGS.

FLASHING DETAIL @ DRYER / BATH EXHAUST



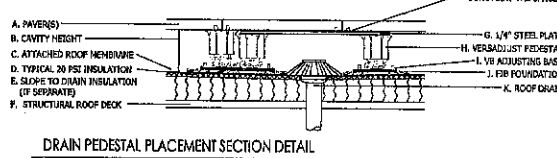
- NOTES:
1. STAINLESS STEEL FLASHING ABOVE THE ROOF.
 2. APPROVED WALLS: INSTALL MEMBRANE IN 18" VERTICAL ADHESIVE JOINTS. DATE OF 18" FOR 18" IS NOT INSTALLED COVERAGE (50% TO 55% ALLOW TO DRY WITH MINIMUM 50% TO BACK OF SHEET, INITIAL WHILE WET).
 3. SOME FLASHING AND METAL WORK IN ACCORDANCE WITH THE SPECIFICATIONS AND FLASHING REQUIREMENT TABLE APPROVED BY THE ARCHITECT.
 4. APPROVED BARRIER SEPARATION: FULLY ADHERED AND MECHANICALLY ATTACHED.
 5. 1/2" POLYURETHANE, 1/2" POLYURETHANE OR APPROVED OFFER COVER BOARD, POLYURETHANE CONCRETE, OR OTHER BLOCK/MASSIVE WALLS.
 6. MECHANICALLY ATTACHED FLASHING: APPROVED COVERING WALL AND BASE FLASHING.
 7. FULL SEPARATION REQUIRED WITH MINIMUM 1/2" PLYWOOD OR APPROVED OFFER COVER BOARD, 2" MIN. OR APPROVED IN SEPARATION SHEET.
 8. FULLY ADHERED FLASHING OVER APPROVED EXISTING WALL AND BASE FLASHING.
 9. FULL SEPARATION REQUIRED WITH MINIMUM 1/2" PLYWOOD, OR APPROVED OFFER COVER BOARD, OR 2" MIN. OR APPROVED IN SEPARATION SHEET.

FLASHING DETAIL @ ADJACENT BUILDING

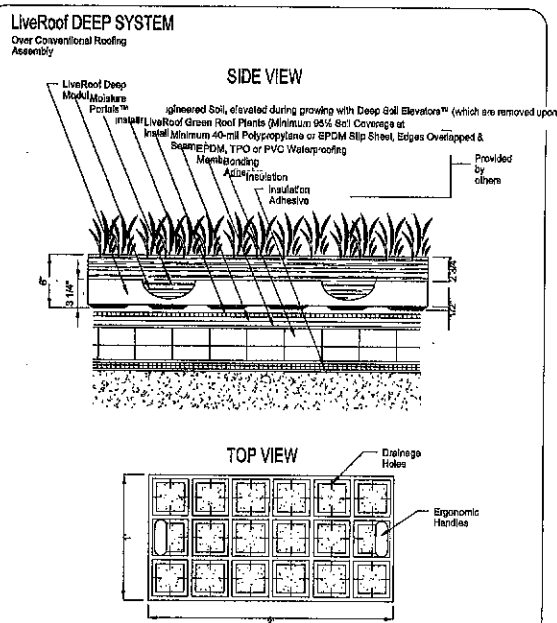


- NOTES:
1. FASTENER & MEMBRANE PLATE PER SPECIFICATIONS WITH A MINIMUM OF 3 FASTENERS FOR PIPES LESS THAN 12" IN DIAMETER, (4" O.C. WITH MINIMUM OF 4 FASTENERS FOR PIPES GREATER THAN 12" DIAMETER).
 2. SEALANTS AND CAULKING REQUIRE PER ARCHITECT'S DRAWINGS.
 3. ROOF PENETRATION: APPROVED EXHAUST VENT, REFER TO THE MECHANICAL DRAWING DETAIL.
 4. CLEAN PENETRATION PRIOR TO FLASHING TO REMOVE ALL OBSTACLES RESIDUE OR CONTAMINANTS.

FLASHING DETAIL @ PLUMBING VENT



DRAIN PEDIESTAL PLACEMENT SECTION DETAIL

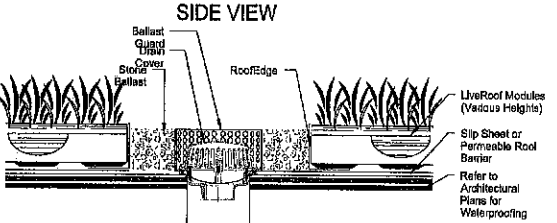


LiveRoof, LLC
P.O. Box 538
Spring Lake, MI 49456

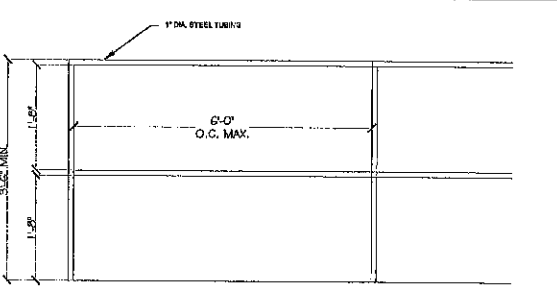
(800) 875-1392
www.liveroof.com

LiveRoof

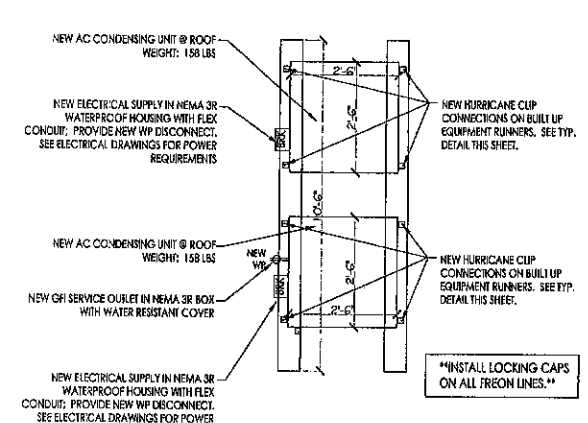
NOT TO SCALE



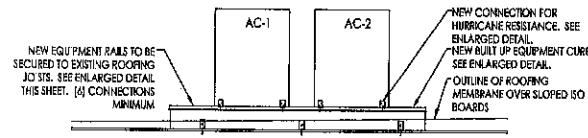
GUARD AT ROOF DRAINS



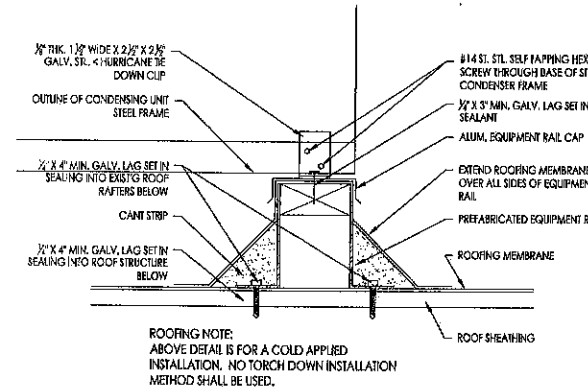
ROOF GUARD DETAIL



TYP. HURRICANE CLIP DETAIL PLAN



TYP. HURRICANE CLIP DETAIL ELEVATION

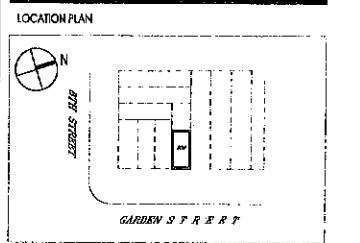


ENLARGED HURRICANE CLIP DETAIL

OWNER:
2 FAMILY DWELLING
806 GARDEN STREET
HOBOKEN, NJ 07030

ARCHITECT:
JENSEN C. VASIL ARCHITECT P.C.
295 12th Street
Hoboken, NJ 07030
201 880 1855 (O)
201 221 7656 (F)
www.jcvasil.com
jensen@jvasil.com

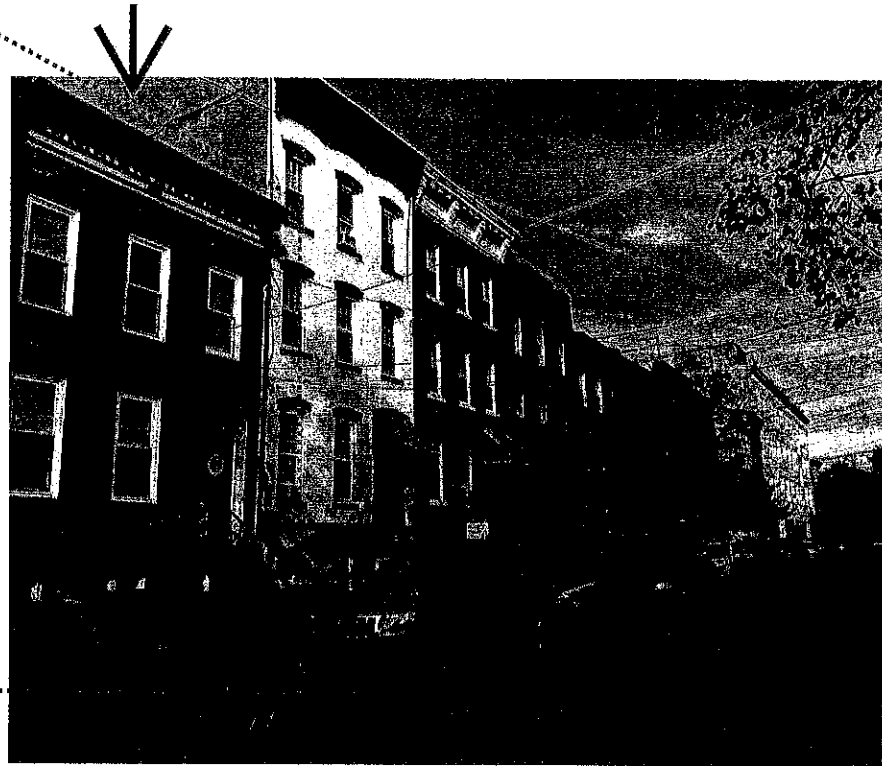
No.	Date	Revisions
2	04.07.18	REVISIONS AS PER BOARD COMMENTS
1	04.28.18	JOINING BOARD OF ADJUSTMENT FLOOD PLAN REVISIONS
	02.02.16	ZONING BOARD OF ADJUSTMENT



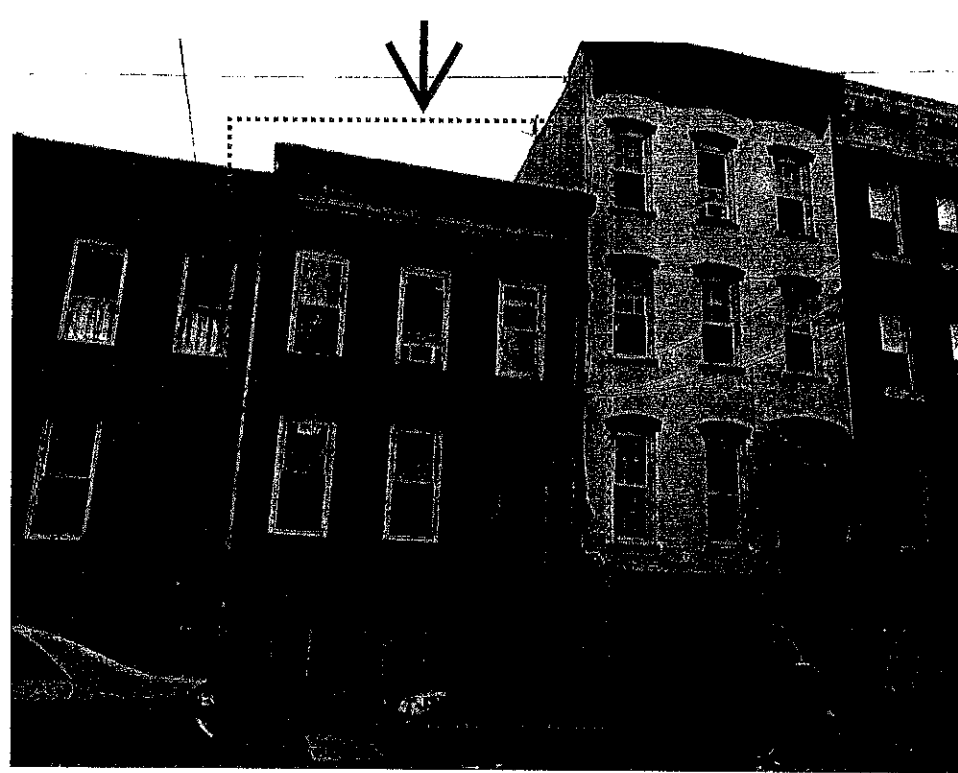
PROJECT:
2 FAMILY DWELLING
806 GARDEN STREET
HOBOKEN, NJ 07030

DRAWING TITLE:
TYPICAL ROOF DETAILS

DATE: 04.07.18
PROJECT ID: 806GARDEN2018
DRAWN BY: JCV
CHECKED BY: JCV
DWG No: **Z-7**



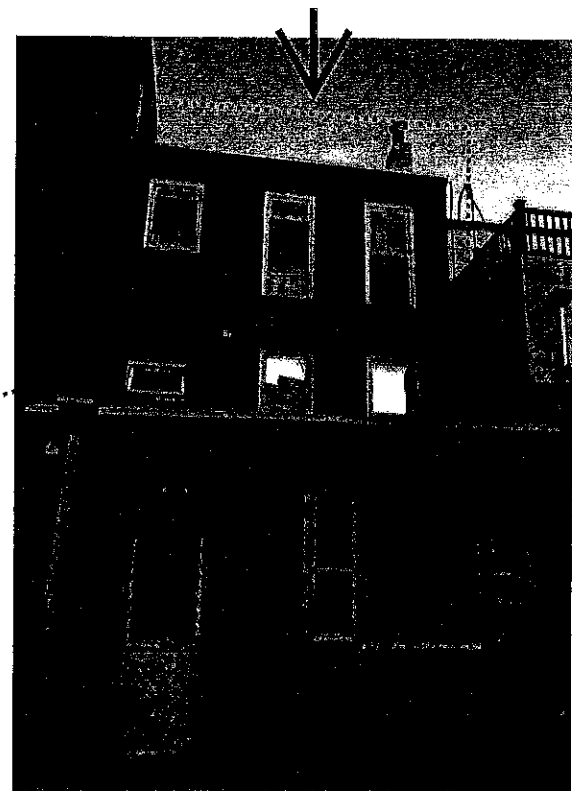
GARDEN STREET LOOKING NORTH



806 GARDEN STREET



806 REAR FACADE LOOKING NORTH

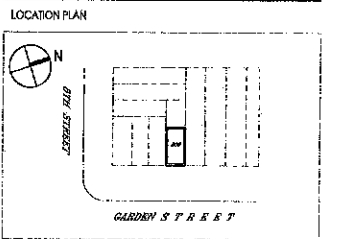


806 REAR FACADE

OWNER:
2 FAMILY DWELLING
 806 GARDEN STREET
 HOBOKEN, NJ 07030

ARCHITECT:
JENSEN C. VASIL ARCHITECT P.C.
 205 12th Street
 Hoboken, NJ 07030
 201 860 1086 (F)
 201 221 7686 (F)
 www.jvavarch.com
 jensen@jvavarch.com

2	04/07/18	REVISIONS AS PER BOARD COMMENTS
1	04/20/18	ZONING BOARD OF ADJUSTMENT FLOOD PLAN REVISIONS
	02/22/18	ZONING BOARD OF ADJUSTMENT
Rev:	Date:	Revised:



PROJECT:
2 FAMILY DWELLING
806 GARDEN STREET
HOBOKEN, NJ 07030

DRAWING TITLE:
SITE IMAGES

SEAL & SIGNATURE:

DATE:	04/07/18
PROJECT NO.:	HOBGARDEN2018
DRAWN BY:	JCV
CHECKED BY:	JCV
DWG NO.:	